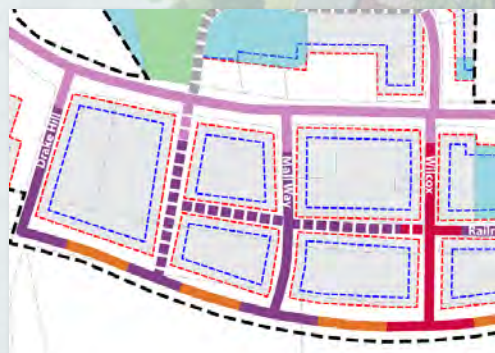
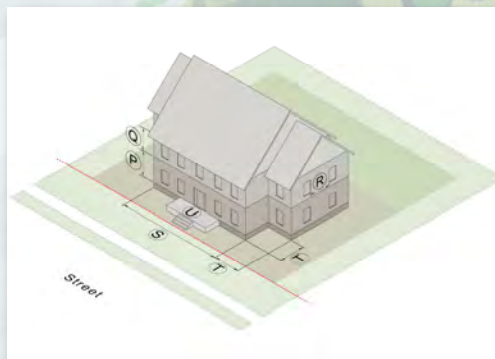


Council of Governments of the Central Naugatuck Valley

Form-Based Codes for Existing Contexts

November 18, 2010



Abe Barge

Winter & Company

Boulder, CO - White Plains, NY

www.winterandcompany.net

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Winter & Company ◇ Boulder, CO - White Plains, NY

- Downtown and Subarea Plans
- Historic Preservation
- Regulatory Strategies
- Urban Design



Form-Based Codes

Presentation Topics

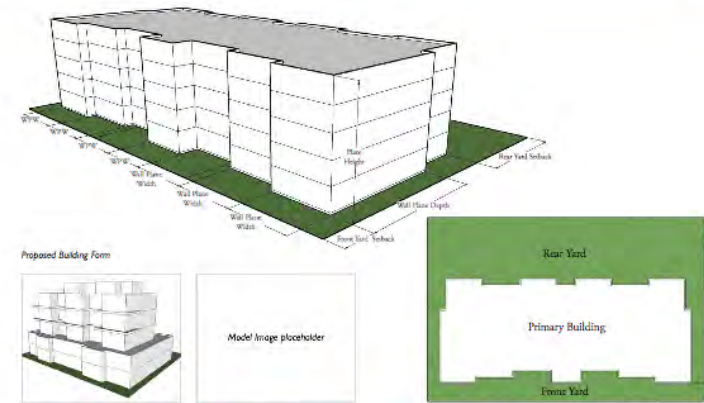
I. Introduction to Form-Based Codes

- What is a form-based code?
- Code types of code are there and what elements do they include?
- Where do they fit within the continuum of regulation?



II. Defining Existing Context as a Base

- The Role of Context
- Framework, Site and Building Features
- Matching Context to Goals



III. Using Form-Based Codes

IV. Implementation

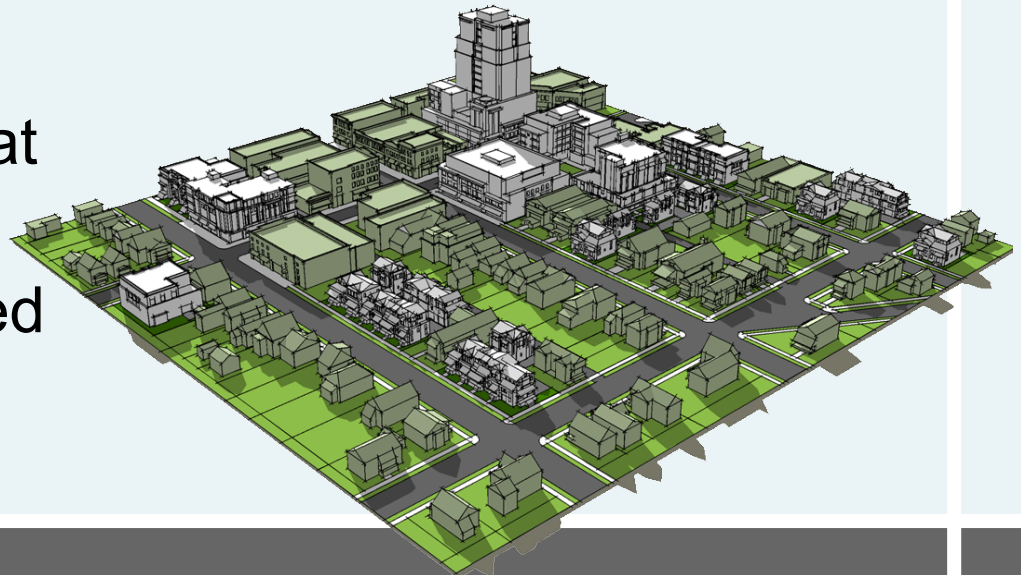
- Zoning Districts and Overlays
- Integrated Systems

Denver - Development of a New Form-Based Zoning Code

What is a Form-Based Code?

“Form-based codes foster predictable built results and a high-quality public realm by using physical form as the organizing principle of the code...” - Form-based Codes Institute

- They:
 - Promote specific urban forms
 - Are more focused on what *is wanted* vs. what *is not wanted*
 - Are not overly focused on the activities that occur within buildings



The Regulatory Continuum

TABLE 2-1: TABLE OF ALLOWED USES

General Use Categories	Specific Use Types	Residential					Non-Residential					Mixed-Use					Use-Sp Regul					
		SF 20	SF 15	MF 5	MF 2F	MF TH	MF S	MF U	O 1	O 2	C 1	C 2	C 3	M 1	M 2	MU DT		MU TR	MU TS	MU WF	MU E	
Cultural Facility	Recreation center (public)	S	S	S	S	S	A	S	A	A	A	A	A	A	A	A	A	A	A	A	A	
	Library	A	A	A	A	A	A	A	A	A	A	A	A	A	A	A	A	A	A	A	A	
Day Care	Museum or art gallery	S	S	S	S	S	A	A	A	A	A	A	A	A	A	A	A	A	A	A	A	
	All	S	S	S	S	S	A	A	A	A	A	A	A	A	A	A	A	A	A	A	A	
Education	College or university	S	S	S	S	S	S	S	A	A	A	A	A	A	A	A	A	A	A	A	A	
	Commercial school	S	S	S	S	S	S	A	A	A	A	A	A	A	A	A	A	A	A	A	A	
Human Health Services	Kindergarten (private)	S	S	S	S	S	S	A	A	A	A	A	A	A	A	A	A	A	A	A	A	
	School (public or private)	A	A	A	A	A	A	A	A	A	A	A	A	A	A	A	A	A	A	A	A	
Human Health Services	Dental office, clinic, or laboratory						A	A	A	A	A	A	A	A	A	A	A	A	A	A	A	
	Hospital (medical)	S				S	A	S	A	A	A	A	A	A	A	A	A	A	A	A	A	
	Hospital (psychiatric)	S					S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	
	Medical office, clinic, or laboratory						S	S	A	A	A	A	A	A	A	A	A	A	A	A	A	

Euclidean Zoning with Design Standards

Form-based Codes



Performance Standards

1.0 Pedestrian Connections
 Pedestrian connections include sidewalks, trails, paths and alleys that provide pedestrian access within, through and among properties. They provide access to buildings, courtyards, plazas and other site elements.

A coordinated system of sidewalk-level connections should provide pedestrians with safe, convenient and barrier-free access to the various functions within a site as well as to pedestrian connections and open spaces on adjacent sites.

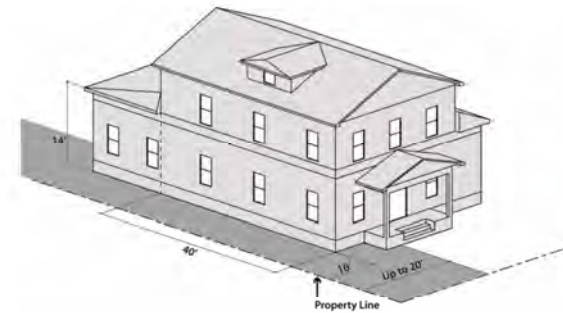
1.1 Provide on-site pedestrian connections at the sidewalk level.
 Use pedestrian connections to:

- Link on-site open spaces such as courtyards and plazas directly to a public sidewalk.
- Create north-south pedestrian links through blocks between State Street and 5th Street and east-west pedestrian links through blocks between First Street and Division Street south of Liberty Street.

Design Guidelines

Types of Form-Based Code

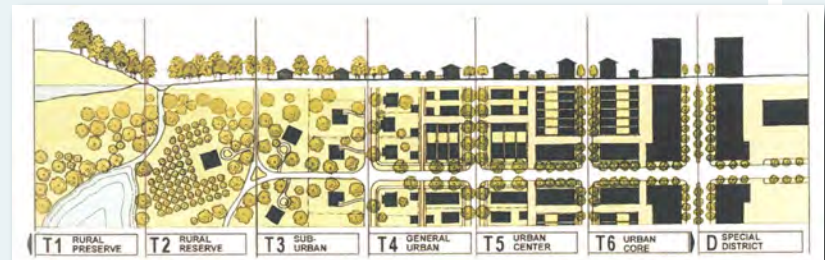
- Hybrid
 - Elements of multiple code types
 - May be layered over or combined with existing codes
- Pure Form-Based
 - Addresses public and private realm
 - Permits wide range of uses
- SmartCode
 - Comprehensive Planning Approach



□ Exemptions: The following exemptions from the side yard wall articulation standards are permitted by the ordinance:

1. Lots within the RL-2 zoning district that are less than 8,000 square feet.
2. Individual landmarks and buildings within historic districts, if found necessary and historically appropriate through the Landmark Alteration Certificate process.
3. Lots less than 4,000 square feet and lots less than 45 feet average in width.
4. Lots that have an interior side yard adjacent to a nonresidential use or a multi-family structure for the length of the nonresidential use or multi-family structure.

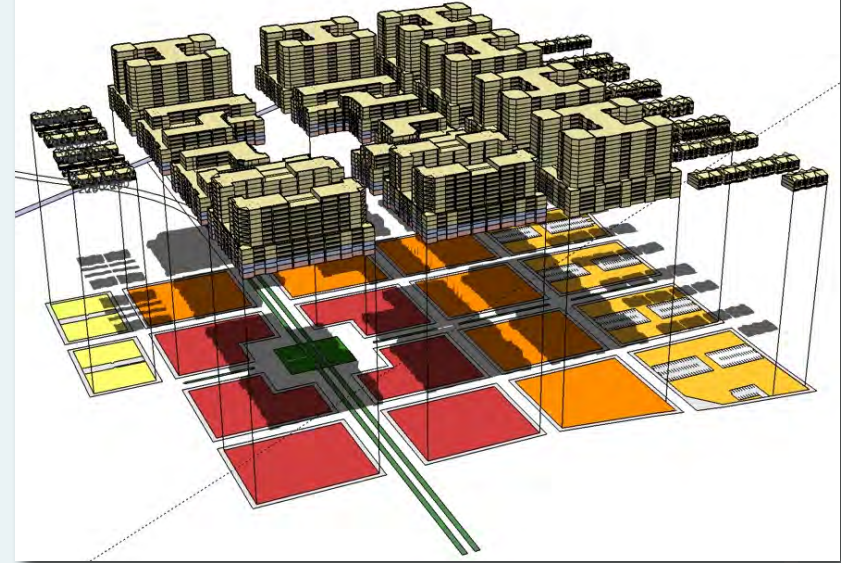
Boulder, CO - Hybrid Code



SmartCode

Form-Based Code Elements

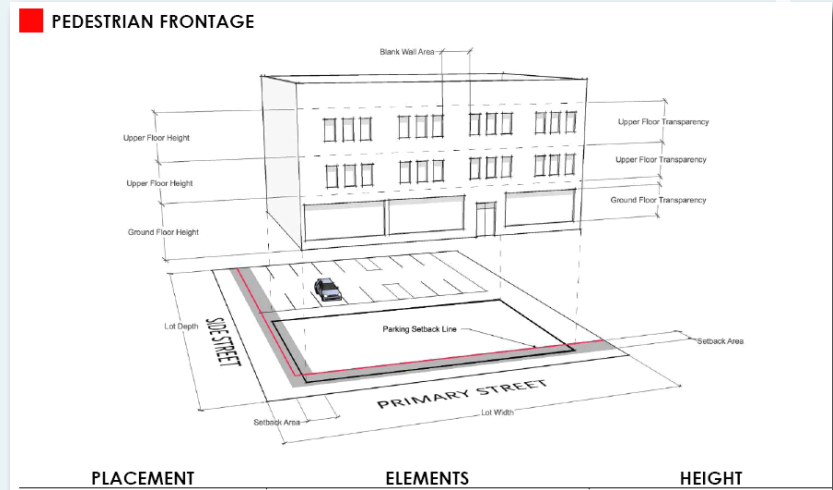
- ❑ Regulating Plan
- ❑ Public Space Standards
- ❑ Building Form Standards
- ❑ Additional Elements
 - ❑ Architectural Standards
 - ❑ Landscape Standards
 - ❑ Signage Standards



Dallas - Form-Based TOD Standards

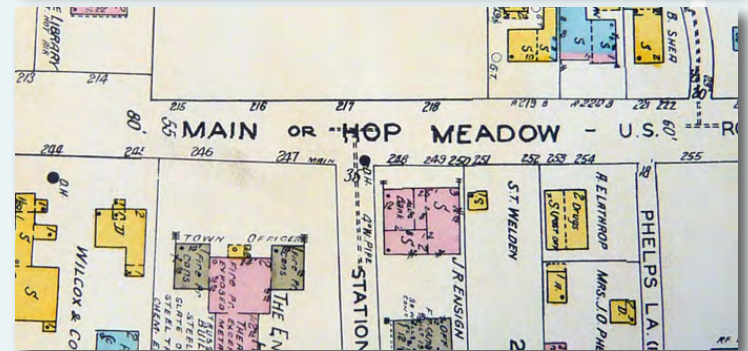
Massing Districts with Free-Standing Buildings	Street Elevation Height	Massing Articulation	Setbacks Adjacent R Massing District
E East Huron	Max. Height-4 stories Min. Height-2 stories Offset-5' Average	60' Max. Surface Dimension, 5' Off-set Required	Side Yard -15' Setback -20' Offset at Streetwall Rear Yard -15' Setback at Property Line -5' Setback at Alley -20' Offset
IG Industrial/Greenway	Max. Height-4 stories Min. Height-2 stories Offset-5' Average	80' Max. Surface Dimension, 5' Off-set Required	
R Residential	Max. Height-3 stories Offset-5' Min.	40' Max. Surface Dimension, 5' Off-set Required	Side Yard -5' Setback Rear Yard -15' Setback at Property Line -5' Setback at Alley -20' Offset

Ann Arbor - Form-Based Zoning Standards



Why Use a Form-Based Code?

- Implement a Plan Vision
 - Build Consensus
 - “Shape” Growth
- Streamline Approval Process
- Promote Historic Patterns and/or Desired Character



Hartford Courant

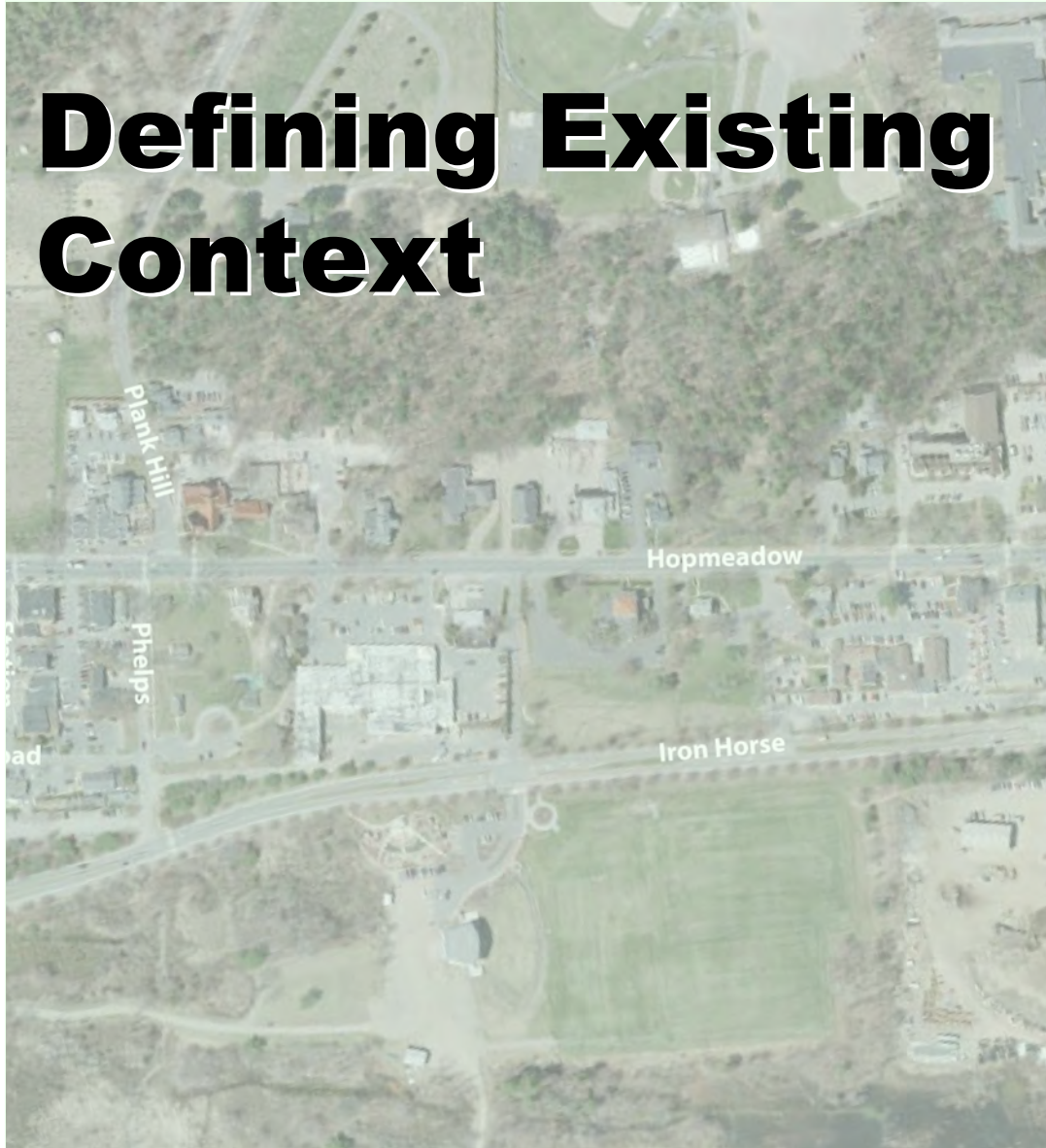
courant.com

Region Agenda, Part 3: How To Act Regionally

In recent years, state government has tried to counter this trend with smart, or responsible, growth policies. As Greater Hartford thinks about becoming a more cohesive metro region, it must plan to grow smartly to save energy, cut pollution, preserve open space and save farms. The region should:

4. *CREATE MODEL ZONING REGULATIONS* and other land-use tools so that towns are able to create the kind of mixed-use town centers envisioned by the regional and state plans. Traditional zoning separated uses; tried to keep the smelly factories away from the homes, etc. Now most of the factories are gone but the zoning rules remain, prohibiting what good planning is trying to encourage. **Hamden** this year became the first town in New England to embrace a different zoning philosophy, adopting a new code based more on the form of buildings rather than their use. Officials believe the new code will encourage mixed-use development along the town's three major north-south corridors. Some other towns, including **Simsbury**, are also looking at "form-based" codes.

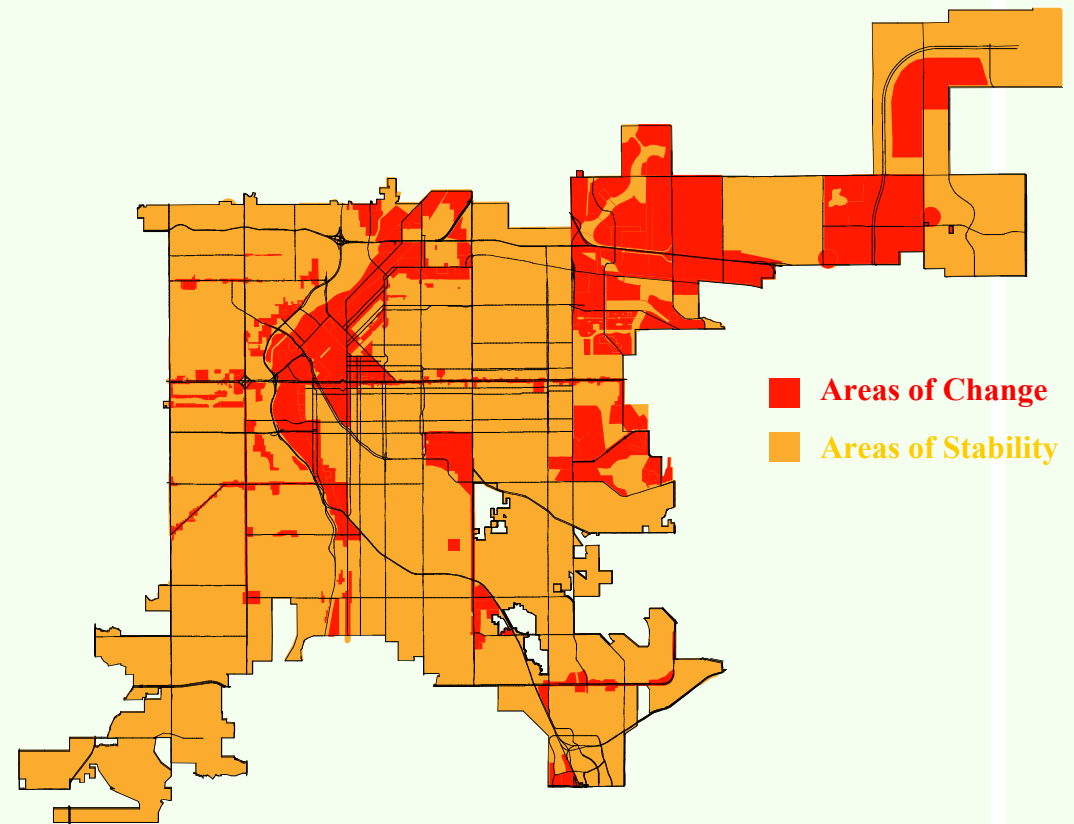
Defining Existing Context



Form-Based Codes

The Role of Context

- What are the Key Characteristics?
 - Framework Level
 - Site Level
 - Building Level
- What are the Goals?
 - Established Areas
 - Redevelopment Areas



Denver - New Form-Based Zoning Code

Framework Level Features



SNAPSHOT AREA - AERIAL PHOTOGRAPH



SNAPSHOT AREA - AERIAL PHOTOGRAPH



SNAPSHOT AREA - BUILDING PLACEMENT DIAGRAM



SNAPSHOT AREA - BUILDING PLACEMENT DIAGRAM

Denver - New Form-Based Zoning Code

Site Level Features



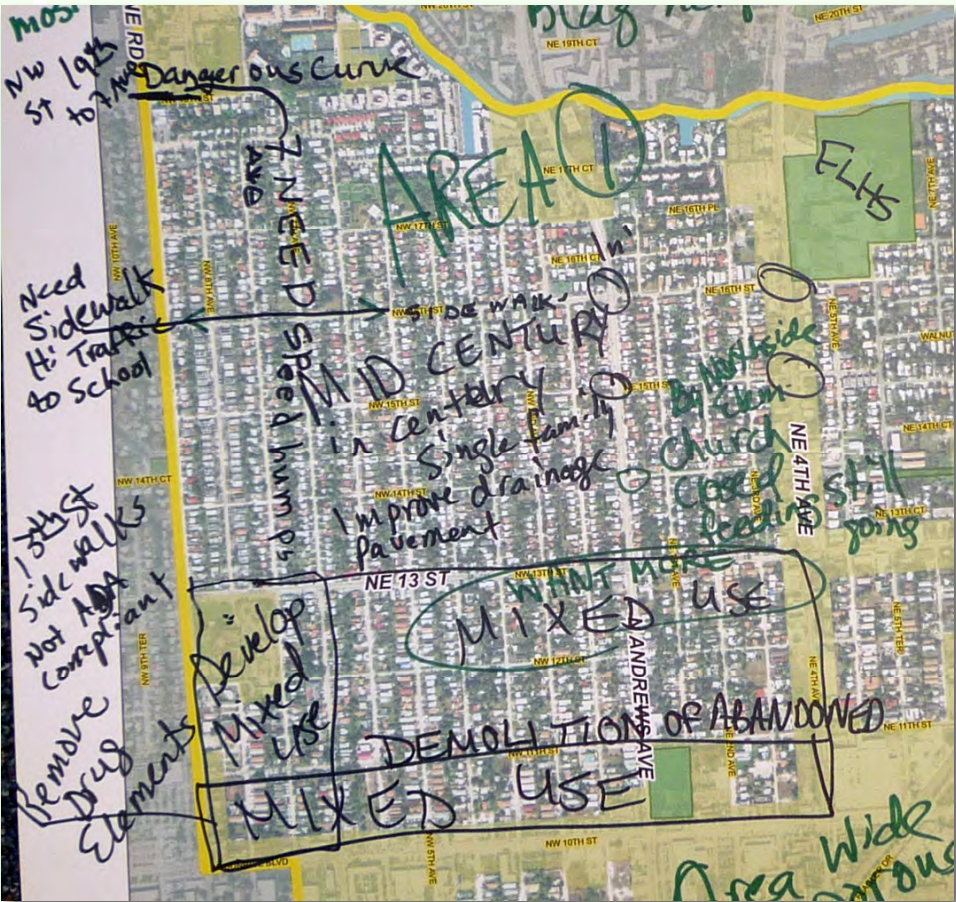
**Denver -
New Form-
Based
Zoning
Code**

Building Level Features

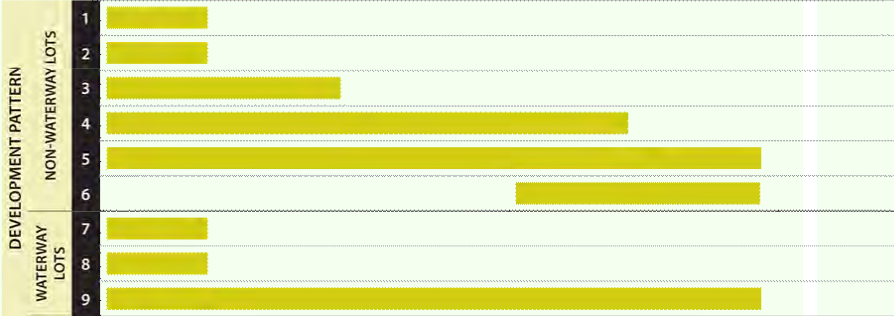


West Palm Beach - Form-Based Standards for Historic Districts

Community Identified Features

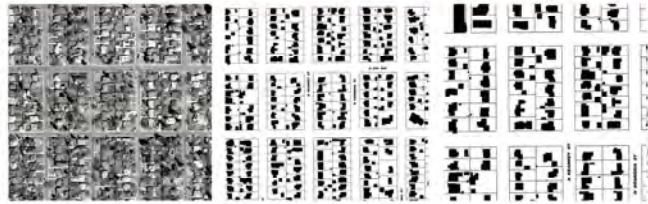


Ft. Lauderdale - Neighborhood Development Criteria



Matching Context to Goals

ARTICLE 4. URBAN EDGE (E-) NEIGHBORHOOD CONTEXT

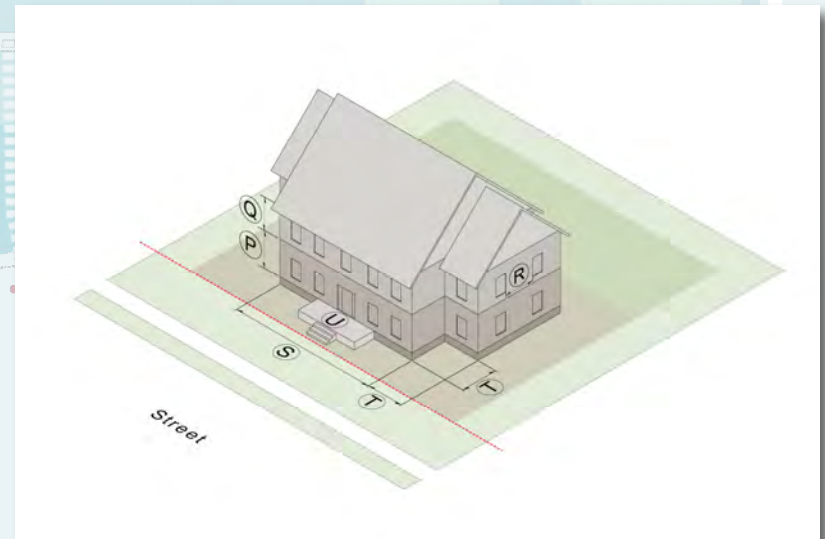
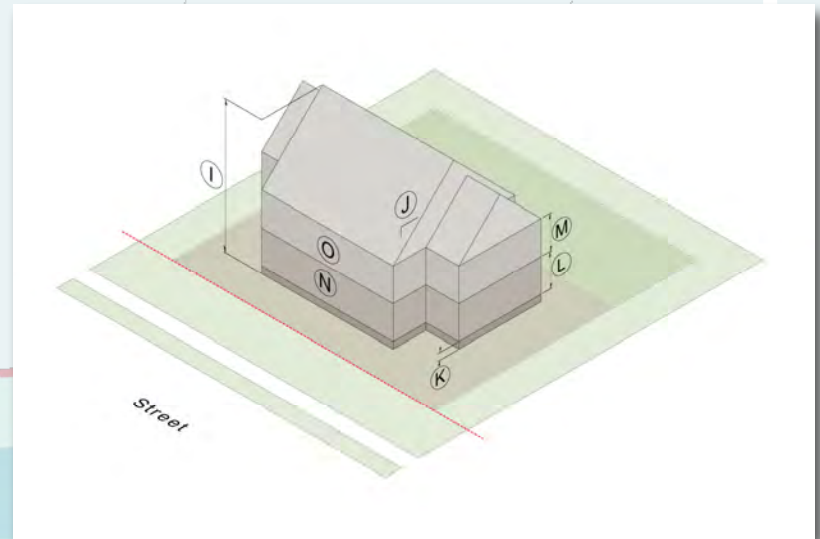
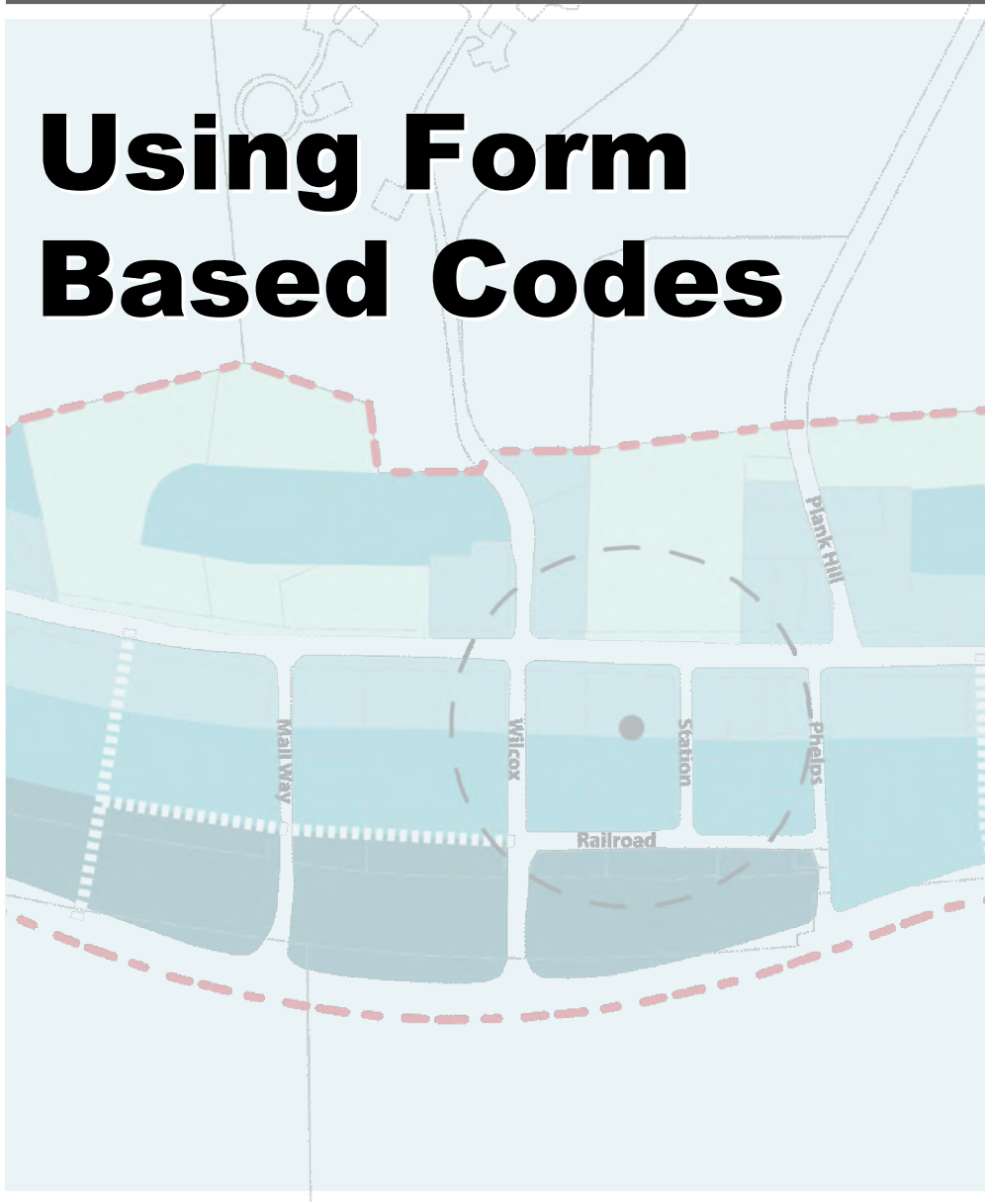


Zone Districts		Suburban House	Urban House	Detached Acc. Dwelling Unit	Duplex	Tandem House	Town House	Garden Court	Row House	Courtyard Apartment	Apartment	Drive Thru Services	Drive Thru Restaurant	General	Shopfront	
Urban Edge Neighborhood Context	E-SU-A	Single Unit A	■													
	E-SU-B	Single Unit B	■													
	E-SU-D	Single Unit D	■													
	E-SU-D1	Single Unit D1	■	■												
	E-SU-Dx	Single Unit Dx	■	■												
	E-SU-D1x	Single Unit D1x	■	■	■											
	E-SU-G	Single Unit G	■	■												
	E-SU-G1	Single Unit G1	■	■	■											
	E-TU-B	Two Unit B		■	■	■	■									
	E-TU-C	Two Unit C		■	■	■	■									
	E-TH-2.5	Town House 2.5	■	■	■	■	■	■	■							
	E-MU-2.5	Multi Unit 2.5	■	■	■	■	■	■	■			■				
	E-CC-3	Commercial Corridor 3						■			■	■	■	■	■	
	E-MX-2x	Mixed Use 2x								■	■	■			■	
	E-MX-2, -2A, 3, 3A	Mixed Use 2, 2A, 3, 3A								■	■	■	■	■	■	
	E-RX-5	Residential Mixed Use 5								■	■	■				■
	E-MS-2x	Main Street 2x								■						■
	E-MS-2, -3	Main Street 2, 3								■			■	■		■
E-MS-5	Main Street 5								■			■	■		■	

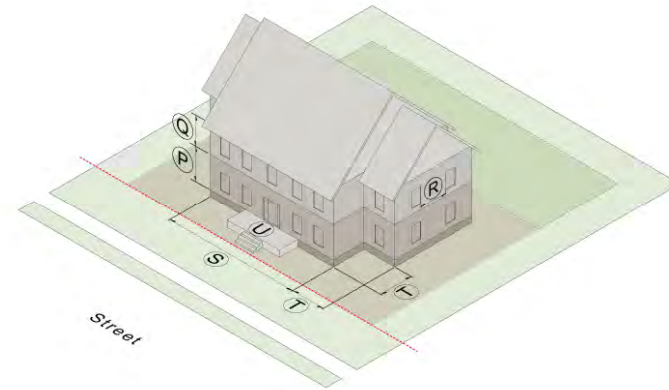
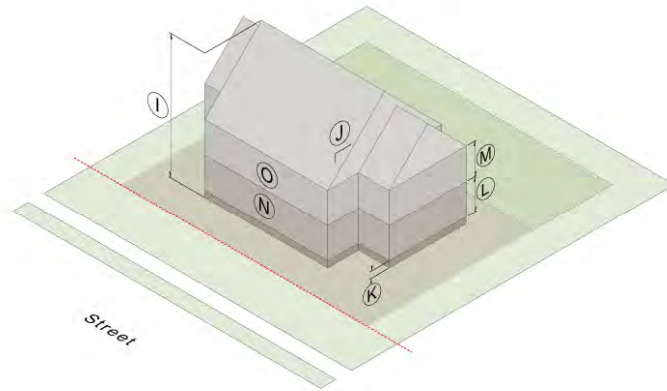
■ = Allowed
 □ = Allowed subject to limitations

Denver - New Form-Based Zoning Code

Using Form Based Codes



Building Form Standards



HEIGHT AND USE

Height

Ⓛ	Building height (max)	Varies (see height map)
Ⓝ	Roof pitch (min/max)	5:12 / 12:12
Ⓚ	Ground story finished floor elevation	
	Residential (min/max)	2' / 4'
	Nonresidential (min/max)	0' / 2'
Ⓛ	Ground story height, floor to floor (min/max)	9' / 12'
Ⓜ	Upper story height, floor to floor (min/max)	9' / 12'

Allowed Use Summary*

Ⓝ	Ground story	Residential, public, commerce
Ⓞ	Upper story	Residential, public, commerce

*See Chapter 4 for specific use requirements

FORM

Transparency

Ⓟ	Ground story (min/max)	20% / 40%
Ⓞ	Upper story (min/max)	20% / 40%
Ⓡ	Blank wall area (max)	35'

Facade Articulation

Ⓢ	Front wall length without offset (max)	40'
Ⓣ	Front wall offset length & depth (min)	10'

Building Entrances

Ⓤ	Street facing entrance	Required
Ⓥ	Entrance spacing (max)	n/a

Allowed Building Element Summary*

Public	Gallery, awning
Semi-Public	Porch, stoop, balcony

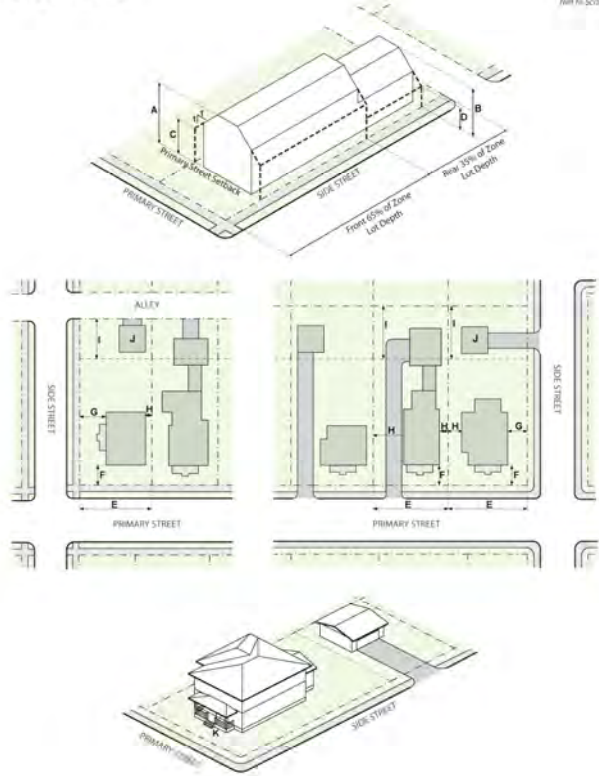
*See Sec. 2.11 for specific building element requirements

Simsbury - Simsbury Center Draft Form-Based Code

Building Form Standards

Article 4, Urban Edge Neighborhood Context
Division 4.3 Design Standards

B. Urban House



4-18 |

DENVER ZONING CODE
June 25, 2019

Article 4, Urban Edge Neighborhood Context
Division 4.3 Design Standards

URBAN HOUSE

HEIGHT	E-SU-A		E-SU-B		E-SU-D		E-SU-Dx		E-SU-G		E-TU-B		E-TU-C		E-TH-2.5		E-MU-2.5	
	E-SU-A	E-SU-B	E-SU-D	E-SU-D1	E-SU-D1x	E-SU-D1x	E-SU-G1	E-TU-B	E-TU-C	E-TH-2.5	E-MU-2.5							
Stories (max)	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5
A Feet, front 65% of lot depth (max)	30'	30'	30'	30'	30'	30'	30'	30'	30'	30'	30'	30'	30'	30'	30'	30'	30'	30'
Feet, front 65% of lot depth, allowable height increase	1' for every 5' increase in lot width over 50' up to a maximum height of 35'																	
B Feet, rear 35% of lot depth (max)	17'	17'	17'	17'	17'	17'	17'	17'	17'	17'	17'	17'	17'	17'	17'	17'	17'	17'
Feet, rear 35% of lot depth, allowable height increase	1' for every 3' increase in side setback up to a maximum height of 19'																	
C Bulk Plane Vertical Height at Side Interior and Side Street Zone Lot in front 65% of lot	17'	17'	17'	17'	17'	17'	17'	17'	17'	17'	17'	17'	17'	17'	17'	17'	17'	17'
D Bulk Plane Vertical Height at Side Interior and Side Street Zone Lot in rear 35% of lot	10'	10'	10'	10'	10'	10'	10'	10'	10'	10'	10'	10'	10'	10'	10'	10'	10'	10'
Bulk Plane Slope from Side Interior and Side Street Zone Slope	45°	45°	45°	45°	45°	45°	45°	45°	45°	45°	45°	45°	45°	45°	45°	45°	45°	45°

SITING	E-SU-A		E-SU-B		E-SU-D		E-SU-Dx		E-SU-G		E-TU-B		E-TU-C		E-TH-2.5		E-MU-2.5	
	E-SU-A	E-SU-B	E-SU-D	E-SU-D1	E-SU-D1x	E-SU-D1x	E-SU-G1	E-TU-B	E-TU-C	E-TH-2.5	E-MU-2.5							
ZONE LOT																		
Zone Lot Size (min)	3,000 ft ²	4,500 ft ²	6,000 ft ²	6,000 ft ²	9,000 ft ²	4,500 ft ²	5,500 ft ²	4,500 ft ²	4,500 ft ²	4,500 ft ²	4,500 ft ²	4,500 ft ²	4,500 ft ²	4,500 ft ²	4,500 ft ²	4,500 ft ²	4,500 ft ²	4,500 ft ²
E Zone Lot Width (min)	25'	35'	50'	50'	62.5'	35'	50'	35'	50'	35'	50'	35'	50'	35'	50'	35'	50'	35'
Dwelling Units per Primary Structure (min/max)	1/1	1/1	1/1	1/1	1/1	1/1	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2

SETBACKS AND BUILDING COVERAGE BY ZONE LOT WIDTH	All E-SU, TU, TH, MU Districts			
	30' or less	31' to 40'	41' to 74'	75' or Greater
F Primary Street, block sensitive setback required (see Sec. 13.1.2.2)	yes	yes	yes	yes
F Primary Street, where block sensitive setback does not apply (min)	20'	20'	20'	20'
G Side Street (min)	3'	5'	5'	7.5'
H Side Interior (min)	3'	3' min one side/ 10' min combined	5'	10'
I Rear, alley/no alley (min)	12'/20'	12'/20'	12'/20'	12'/20'
Building Coverage, including all accessory structures (max)	50%	37.5%	37.5%	37.5%
PARKING BY ZONE LOT WIDTH				
Parking and Drive Lot Coverage in Primary Street	2 Spaces	2 Spaces	33%	33%
Setback (max)	and 320 ft ²	and 320 ft ²		
Vehicle Access	From alley, or Street access allowed when no alley present See Sec 4.3.7.6			

ACCESSORY STRUCTURES	(see Sec. 4.3.4)			
J Detached Accessory Structures Allowed				

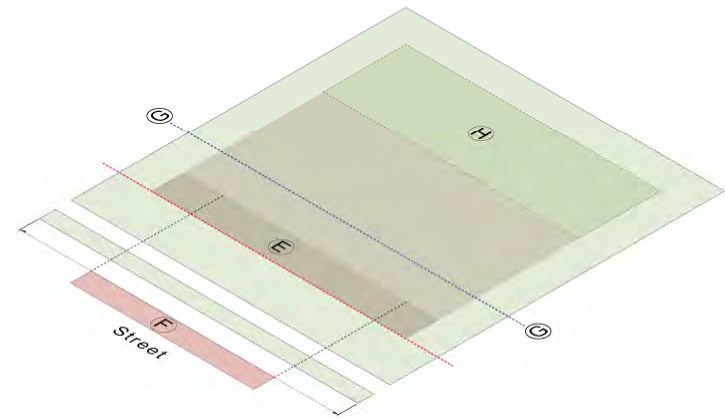
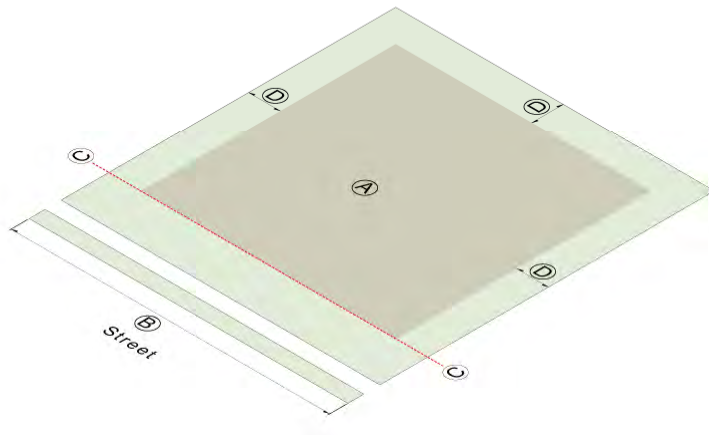
DESIGN ELEMENTS	E-SU-A		E-SU-B		E-SU-D		E-SU-Dx		E-SU-G		E-TU-B		E-TU-C		E-TH-2.5		E-MU-2.5	
	E-SU-A	E-SU-B	E-SU-D	E-SU-D1	E-SU-D1x	E-SU-D1x	E-SU-G1	E-TU-B	E-TU-C	E-TH-2.5	E-MU-2.5							
BUILDING CONFIGURATION																		
Attached Garage Allowed	(1) Shall not project closer to the front line of the zone lot than does any other part of the front facade of the dwelling (2) If located entirely within the rear 35% of the zone lot depth, the attached garage shall comply with the Detached Garage building form standards																	
Primary Street-Facing Attached Garage Door Width in first 50% of lot depth(max)	35% of the entire width of the front facade of the dwelling or 16', whichever is greater																	
GROUND STORY ACTIVATION																		
K Pedestrian Access, Primary Street	Entry Feature																	

DENVER ZONING CODE
June 25, 2019

| 4-19

Frontage Standards

SEC. 2.4 SIMSBURY CENTER - 1 (SC-1)



LOT

Lot Dimensions

Ⓐ Area (min)	5,000 sf
Ⓑ Width (min)	50'

Building Setbacks

Ⓒ Setback line, street (min)	Varies (see regulating plan)
Ⓓ Setback, protected district (min)	20'
Ⓔ Setback, unprotected district (min)	0' or 15'

PLACEMENT

Build-to

Ⓔ Street setback area (min/max)	0' / 15'
Ⓕ Building width in setback area (min % of lot width)	50%

Parking Location

Ⓖ Setback line, street (min)	Varies (see regulating plan)
Setback, protected district (min)	10'
Setback, unprotected district (min)	0' or 5'

Open Space

Ⓖ % of open area on the lot (min)	
By-right	50%
By Special exceptions	20%

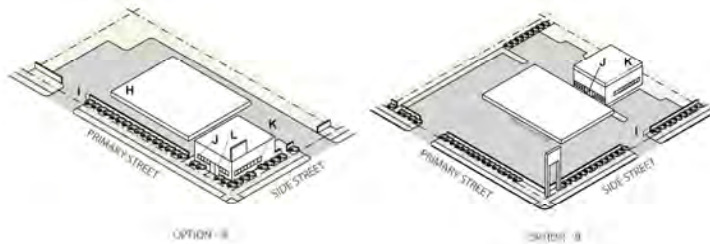
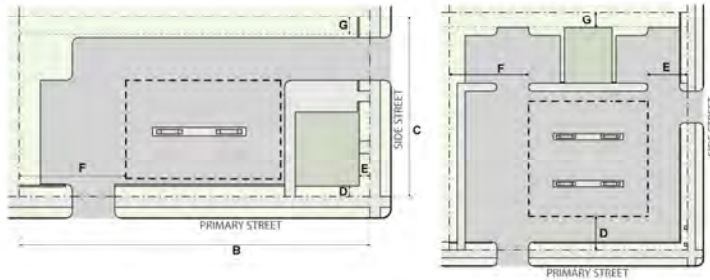
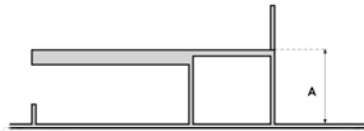
Simsbury - Simsbury Center Draft Form-Based Code

Frontage Standards

Article 4, Urban Edge Neighborhood Context
Division 4.3 Design Standards

K. Drive Thru Services

Not to Scale. Illustrative Only.



4-36 |

DENVER ZONING CODE
(June 25, 2011)

Article 4, Urban Edge Neighborhood Context
Division 4.3 Design Standards

DRIVE THRU SERVICES

HEIGHT	E-CC-3	E-MX-2 -2A E-MS-2	E-MX-3, 3A E-MS-3, -5
A Stories (max)	3	2	3
A Feet (max)	45'	35'	45'

SITING	E-CC-3	E-MX-2 -2A, -3, -3A E-MS-2, -3, -5 Option A	E-MX-2, -3 E-MX-2A, 3A Option B
ZONE LOT			

Use Restrictions
Automobile Services, Light and/or Primary Use with Accessory Drive Thru Use, excluding Eating/Drinking Establishments
Additionally, in E-MX-2A, 3A Option B is limited to Gasoline Service Station Use Only

REQUIRED BUILD-TO	E-CC-3	E-MX-2 -2A, -3, -3A E-MS-2, -3, -5 Option A	E-MX-2, -3 E-MX-2A, 3A Option B
B Primary Street (min % within min/max) ^a	na	50% 0'/15'	na
C Side Street (min % within min/max) ^a	na	50% 0'/15'	na

SETBACKS	E-CC-3	E-MX-2 -2A, -3, -3A E-MS-2, -3, -5 Option A	E-MX-2, -3 E-MX-2A, 3A Option B
D Primary Street (min)	0'	0'	0'
E Side Street (min)	0'	0'	0'
F Side Interior (min)	0'	0'	0'
Side Interior, adjacent to Protected District (min)	10'	10'	10'
G Rear (min)	0'	0'	0'
Rear, adjacent to Protected District, alley/no alley (min)	0'/10'	0'/10'	0'/10'

PARKING	E-CC-3	E-MX-2 -2A, -3, -3A E-MS-2, -3, -5 Option A	E-MX-2, -3 E-MX-2A, 3A Option B
Surface Parking between building and Primary Street/Side Street	Allowed/Allowed	Not Allowed/Not Allowed	Allowed/Allowed

DESIGN ELEMENTS	E-CC-3	E-MX-2 -2A, -3, -3A E-MS-2, -3, -5 Option A	E-MX-2, -3 E-MX-2A, 3A Option B
BUILDING CONFIGURATION			

H ^a Canopy	na	Building shall be used to meet a portion of the Primary and Side Street Build-To. Canopy may be used to meet a portion of the Primary and Side Street Build-To.	na
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I Screening Required	See Article 10	Garden Wall required within 0'/15' for 100% of the zone lot's Primary and Side Street frontages, excluding access points and portions of building within 0'/15'; following the standards of Article 10, Section 10.5.7	
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Upper Story Setback Above 27', adjacent to Protected District: Rear, alley/ Rear, no alley and Side Interior (min)	15'/25'	15'/25'	15'/25'
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GROUND STORY ACTIVATION	E-CC-3	E-MX-2 -2A, -3, -3A E-MS-2, -3, -5 Option A	E-MX-2, -3 E-MX-2A, 3A Option B
J Transparency, Primary Street (min)	40%	40% E-MS: 60%	40%
K Transparency, Side Street (min)	25%	25%	25%
L Pedestrian Access, Primary Street	Pedestrian Connection	Entrance	Pedestrian Connection

DENVER ZONING CODE
(June 25, 2011)

| 4-37

Streetwall Standards

- ❑ Address the height of buildings at the sidewalk edge
- ❑ Promote uniformity or variation in the street character



Existing , varied, streetwall rhythm



Potential infill development with varied setback to preserve existing streetwall rhythm

**Ann Arbor - Form-Based Design
Standards and Guidelines**

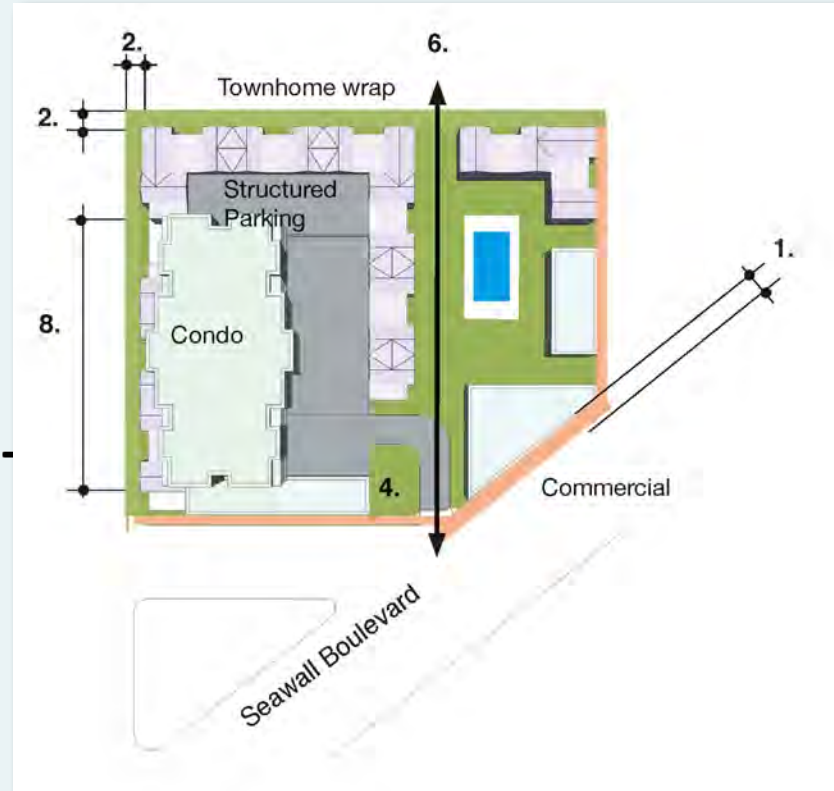
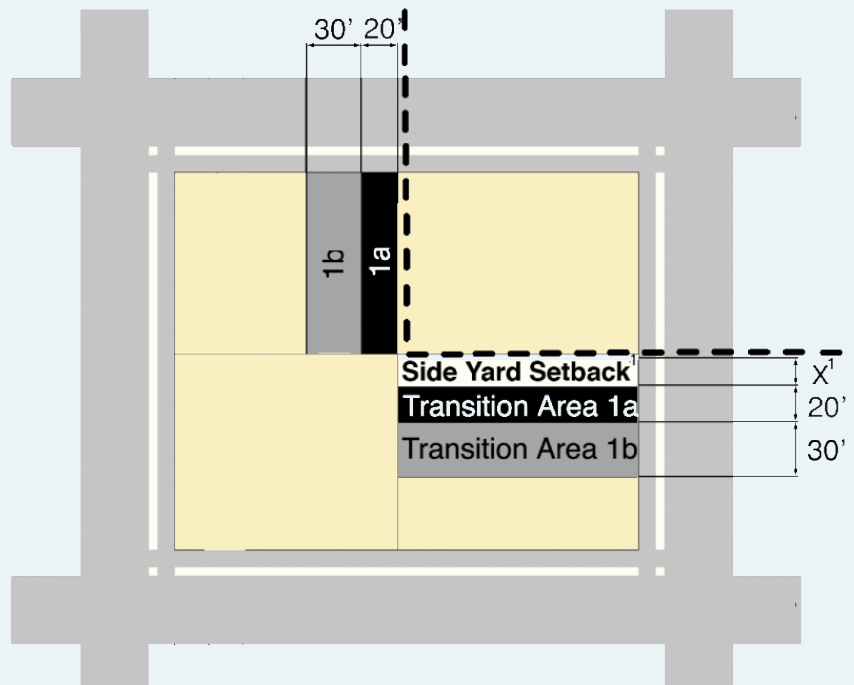
Transition Area Standards

- ❑ Stepping down towards neighbors
- ❑ Preserving views and connections
- ❑ Presenting an attractive face



**Galveston - Form-Based Zoning
Standards and Design Guidelines for the
Waterfront**

Transition Area Standards



- ❑ Setbacks and height transitions
- ❑ Preservation of historic street corridors

**Galveston - Form-Based
Zoning Standards and
Design Guidelines for the
Waterfront**

Implementing Form-Based Codes

	SC-1	SC-2	SC-3	SC-4	SC-5	CIV	OS
FORM							
Transparency							
(P) Ground story (min/max)							
Residential	30% / 40%	n/a	20% / 70%	20% / 70%	20% / 70%	n/a	n/a
Commerce	20% / 40%	60% / 90%	40% / 90%	n/a	n/a	n/a	n/a
(Q) Upper story (min/max)	20% / 40%	20% / 70%	20% / 70%	20% / 70%	20% / 70%	n/a	n/a
(R) Blank wall area (max)	35'	20'	30'	40'	40'	n/a	n/a
Facade Articulation							
(S) Front wall length without offset (max)	40'	n/a	n/a	n/a	n/a	n/a	n/a
(T) Front wall offset length & depth (min)	30'	n/a	n/a	n/a	n/a	n/a	n/a
Building Entrances							
(U) Street facing entrance	Required	Required	Required	Required	Required	n/a	n/a
(V) Entrance spacing (max)	n/a	50'	75'	75'	75'	n/a	n/a
Allowed Building Element Summary*							
Public	Gallery, awning	Awning	Gallery, awning	Gallery, awning	Not allowed	Gallery, awning	Not allowed
Semi-Public	Porch, stoop, balcony	Balcony	Porch, stoop, balcony	Porch, stoop, balcony	Porch, stoop, balcony	Porch, stoop, balcony	Not allowed

Street Frontage

Existing Road

New Road

SC-1



SC-2



SC-3



SC-4

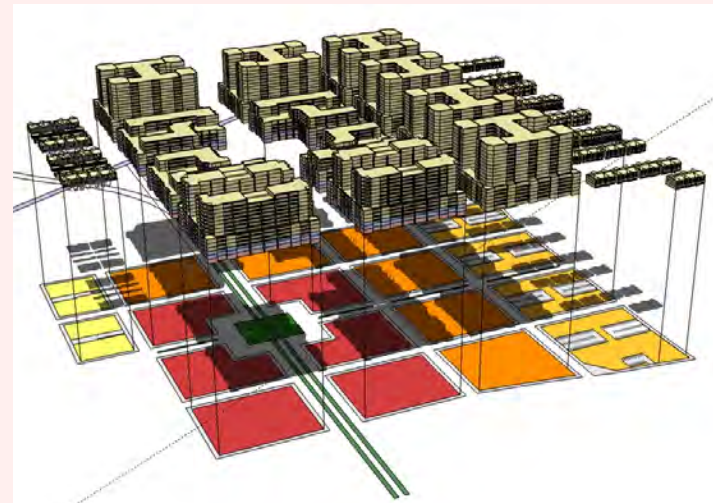


SC-5

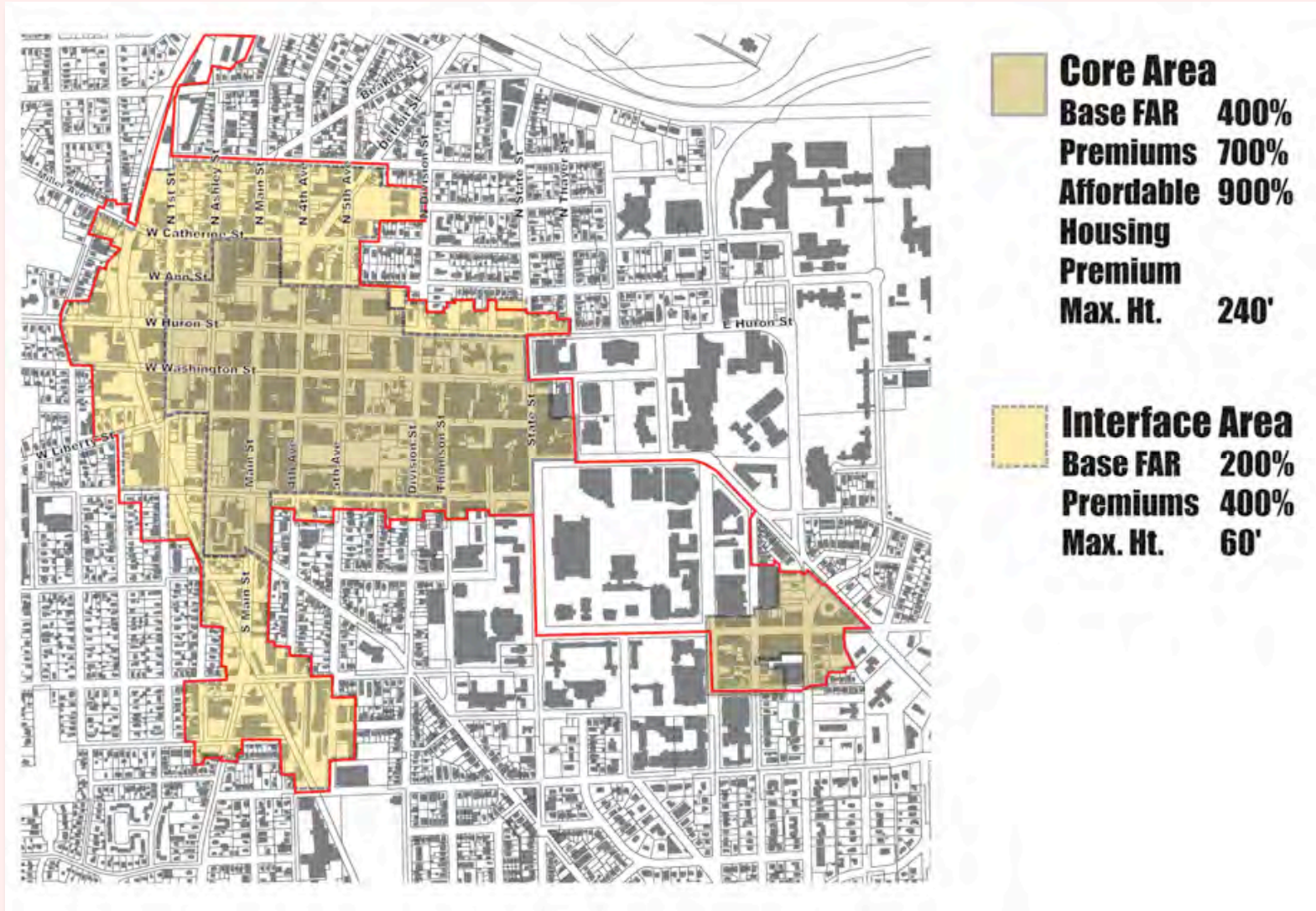


Implementing Tools

- ❑ Base Zone Districts
- ❑ Zoning Overlays
- ❑ Frontages
- ❑ Conservation Districts
- ❑ Historic Districts



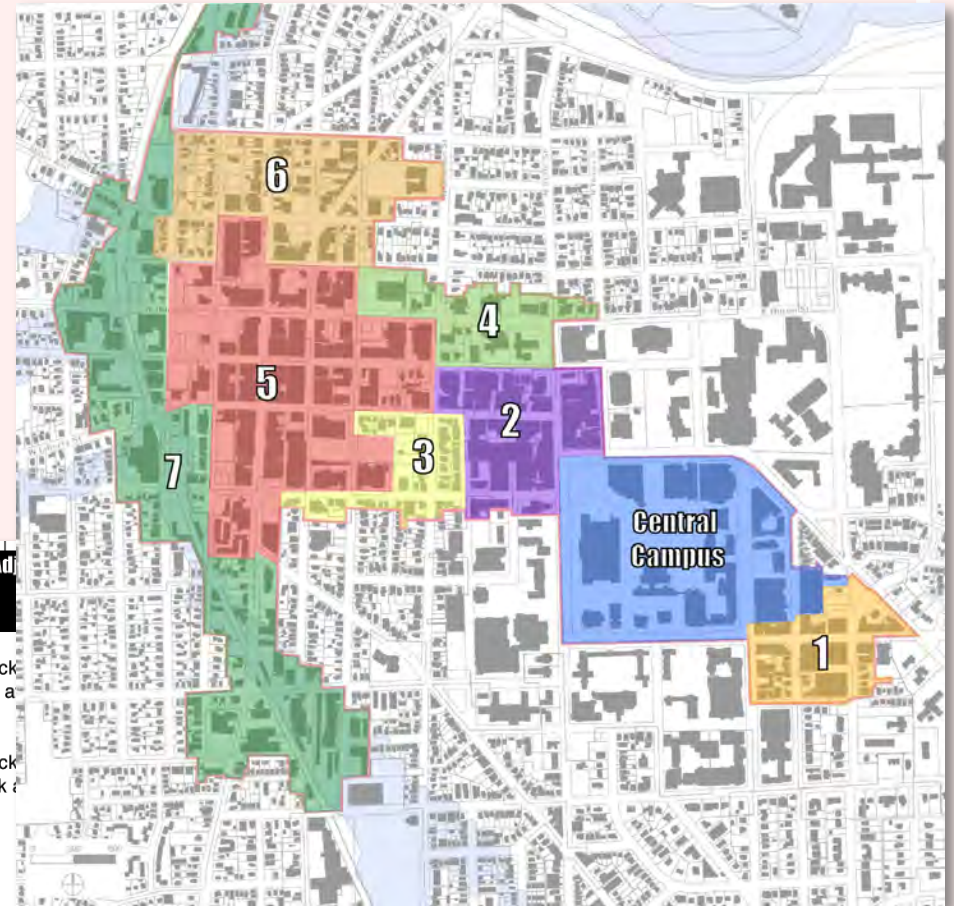
Base Zone Districts



Ann Arbor - Form-Based Zoning Standards

Zoning Overlays

- Supplement Underlying Zoning
- Provide Additional Context Sensitivity



Massing Districts with Free-Standing Buildings	Street Elevation Height	Massing Articulation	Setbacks Adj
E East Huron	Max. Height-4 stories Min. Height-2 stories Offset-5' Average	60' Max. Surface Dimension, 5' Off-set Required	Side Yard -15' Setback -20' Offset a Rear Yard -15' Setback -5' Setback -20' Offset
IG Industrial/Greenway	Max. Height-4 stories Min. Height-2 stories Offset-5' Average	80' Max. Surface Dimension, 5' Off-set Required	
R Residential	Max. Height-3 stories Offset-5' Min.	40' Max. Surface Dimension, 5' Off-set Required	Side Yard -5' Setback Rear Yard -15' Setback at Property Line -5' Setback at Alley -20' Offset

Ann Arbor - Form-Based Zoning Standards

Street Frontages

- Address the Character of Specific Block Fronts
- Generally Supplements Base or Overlay Districts



- Primary Frontage
- Secondary Frontage
- Front Yard Frontage
- Multi-use Alley

Ann Arbor - Form-Based Zoning Standards



Simsbury - Simsbury Center Draft Form-Based Code

Simsbury Center Regulating Plan

July 20, 2010
 Town of Simsbury Planning & Design Services Limited Agreement
 - Home and Community Element (Applicant: 10-2118)

Street Frontage		Proprietary Line		Open Site
Existing Road	New Road	Street Service Line	Existing Sidewalk Line	Issue Site
SC0	SC1	SC2	SC3	SC4
SC5	SC6	SC7	SC8	SC9
SC10	SC11	SC12	SC13	SC14
SC15	SC16	SC17	SC18	SC19
SC20	SC21	SC22	SC23	SC24
SC25	SC26	SC27	SC28	SC29
SC30	SC31	SC32	SC33	SC34
SC35	SC36	SC37	SC38	SC39
SC40	SC41	SC42	SC43	SC44
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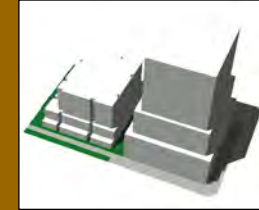
Combining Tools

- ❑ Most Tools are not Mutually Exclusive
 - ❑ Design standards (zoning) and design guidelines are often used together

Prescriptive

Base Zoning

Use
FAR
Setbacks
Building Modules
Building Step Backs



Performance Oriented

General Design Guidelines

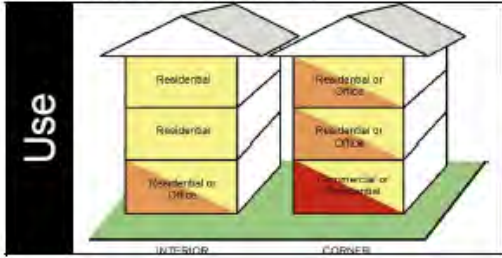
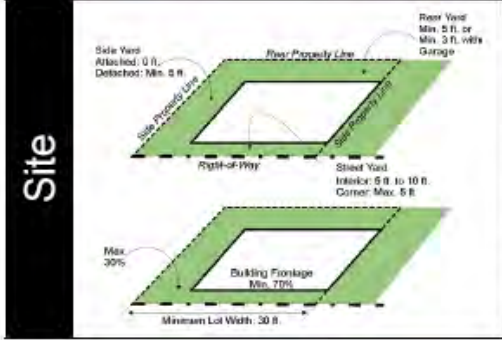
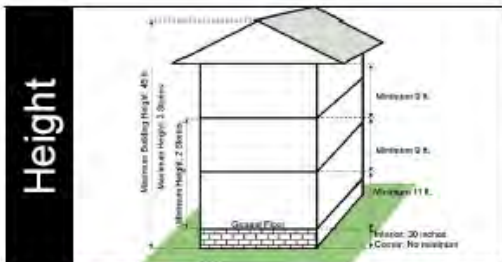
Site Planning
Massing
Specific Building Elements



Discussion

- ❑ Where are form based-codes most appropriate?
- ❑ Could they result in cookie cutter development or stifle creativity?
- ❑ Can they replace discretionary review processes?

4.6.5 TN-2 Development Standards

Use	Site	Height
 <p>Interior Site: Ground Floor: Residential or mixed use (see use table in 4.6.2) Upper Floors: Residential</p> <p>Corner Site: Ground Floor: Residential or mixed use (see use table in 4.6.2) Upper Floors: Residential or mixed use (see use table); No residential use shall be located below a commercial use</p> <p>Ground Floor Area Residential: none. Commercial or office: 2,500 square feet maximum</p> <p>Residential Density 20 units per gross acre maximum 24 units per gross acre maximum for designated affordable housing</p>	 <p>Lot Area: 2,500 SF minimum for attached residential, 3,000 SF minimum for all other uses.</p> <p>Lot Width: 30 feet minimum</p> <p>Street Yard Average street yard for all contributing properties on the block face. For blocks without contributing structures: Interior site: 5 minimum to 10 feet maximum, Corner site: 5 feet maximum</p> <p>Garage Setback from Street: 20 feet minimum</p> <p>Building Frontage: 70% of lot width minimum</p> <p>Building Coverage: 60% maximum</p> <p>Rear Yard: 5 feet minimum, garage with access to lane, 3 feet minimum</p> <p>Side Yard: 0 feet on any attached side; at other sides 5 feet minimum</p>	 <p>Building Height: 3 stories maximum, 2 stories minimum, 45 feet maximum</p> <p>Floor Height Ground floor: 11 feet minimum Upper floors: 9 feet minimum</p> <p>Ground Floor Elevation Interior side: 30 inches minimum, including slab construction Corner side: no minimum</p>

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